

Renovations to the Clark Haddad Memorial Building / Sand Hill School Building - Sub Bid

Category:	Clubs, Community Centers	Project ID #:	1004554075
Street Address:	16 Dewey Ave. Sandwich MA 02563	Confirmed Value	\$800,000.00
County:	Barnstable	Stage:	BIDDING - SUBBIDS: ASAP
Bid Date:	11/29/2017 , 02:00PM		
Architect:	McGinley Kalsow & Associates		
Documents Available:	Plans, Specs available in Insight	Plans available from Town of Sandwich	
Last Update:	11/13/2017	Project reviewed, Stage confirmed as SUBBIDS: ASAP	

Project Events

Event	Date	Details
Bid Date	11/29/2017 , 02:00PM	Bids will be received by Town of Sandwich, 130 Main Street Sandwich, MA 02563
End Date	6/27/2018	
Filed Sub-Bid	11/29/2017 , 02:00PM	Bids will be received by Town of Sandwich 130 Main St. Sandwich, MA 02563
Pre-Bid Meeting	11/14/2017 , 02:00PM	Pre-bid Conference at Clark Haddad Memorial Building/Sand Hill School, 16 Dewey Avenue, Sandwich.
Start Date	12/29/2017	Actual Start Date

Notes

- Scope** Renovation of a clubhouse / community center in Sandwich, Massachusetts. Completed plans call for the renovation of a clubhouse / community center. Renovations to the Clark Haddad Memorial Building / Sand Hill School Building for use as a Town of Sandwich Community Center Contractor Qualification DCAMM Certificate. dlapp@townofsandwich.net Notify email address listed when final publish date assigned. Renovations to the Clark Haddad Memorial Building / Sand Hill School Building for use as a Town of Sandwich Community Center. Plans/Specification Available: Available 11/8/17 @ 12:00 noon on November 8, 2017.
- Notes** Pre-Bid Meeting: 11/14/2017 02:00PM Pre-bid Conference at Clark Haddad Memorial Building/Sand Hill School, 16 Dewey Avenue, Sandwich. Bid Date: 11/29/2017 02:00PM Bids will be received by Town of Sandwich, 130 Main Street Sandwich, MA 02563 Filed Sub-Bid: 11/29/2017 02:00PM Bids will be received by Town of Sandwich 130 Main St. Sandwich, MA 02563 Development include(s): Renovation
- Details** [Division 2]: Building Demolition, Clearing, Dewatering, Shoring, Earthwork, Grading, Slope Protection & Erosion Control, Paving & Surfacing, Water Systems, Sewerage & Drainage, Landscaping. [Division 3]: Concrete Formwork, Concrete Reinforcement, Structural Concrete, Structural Precast Concrete. [Division 4]: Clay Unit Masonry. [Division 5]: Cold Formed Metal Framing, Metal Fabrications. [Division 6]: Rough Carpentry, Finish Carpentry, Architectural Woodwork, Stairwork & Handrails. [Division 7]: Firestopping. [Division 8]: Wood Doors, Hardware. [Division 9]: Ceiling Suspension Systems, Drywall/Gypsum, Tile, Wood Flooring, Resilient Flooring, Painting. [Division 10]: Wall & Corner Guards, Toilet & Bath Accessories. [Division 14]: Material Handling Systems. [Division 15]: Plumbing Fixtures, Heat Pumps, Packaged A/C Units, Ductwork, Testing & Balancing. [Division 16]: Service/Distribution, Interior Lighting, Exterior Lighting, Alarm & Detection Systems.

Additional Details

Listed On:	11/9/2017	Floor Area:	
Contract Type:		Work Type:	Alteration
Stage Comments 1:		Floors Below Grade:	
Stage Comments 2:		Owner Type:	City
Bid Date:	11/29/2017	Mandatory Pre Bid Conference:	
Invitation #:		Commence Date:	12/29/2017
Structures:	1	Completion Date:	6/27/2018
Single Trade Project:		Site Area:	
Floors:		LEED Certification Intent:	
Parent Project ID:	1004554012	Units:	
Parking Spaces:			

Project Participants

Company Role	Company Name	Contact	Address	Phone	Email	Fax
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		Name				
Architect	McGinley Kalsow & Associates		324 Broadway P.O. Box 45248, Somerville, MA 02145	(617) 625-8901	info@mcginleykalso.com	(617) 625-8902
Owner	Town of Sandwich	George H Dunham	130 Main St., Sandwich, MA 02563	(508) 888-5144	townhall@townofsandwich.net	(508) 888-2497

Planholders

Company Name	Contact Name	Address	Phone	Email	Fax
Brite-Lite Electrical Co	Cary Chu	11 Front Street , Weymouth, MA 02188	(781) 340-9102	cchu@brite-lite-electrical.com	(781) 340-1674
Annese Electrical Services	Mike Blotner	280 Libbey Industrial Pkwy. , Weymouth, MA 02189	(781) 337-6462	mblotner@anneseelectric.com	(781) 337-6559
Collins Construction Co.	Rebecca Collins	33 Swindells St , Fall River, MA 02723	(508) 678-5201	becca@collinsconst.net	(508) 672-2960
Reliable Roofing & Sheet Metal	James O'Donovan	105 Irving St. , Framingham, MA 01702	(508) 628-5562	info@reliablene.com	(508) 628-5563
Rockwell Roofing Inc.	Jennifer Wrightson	44 Pond St , Leominster, MA 01453	(978) 537-7825	jennifer@rockwellroofing.com	(978) 537-4132
Apex Corporation	Marc Sacco	56 Charles St. , Abington, MA 02351	(781) 871-6227	apex@apexhvac.com	(781) 871-5280
Capeway Roofing Systems	Kathie Rybicki	664 Sandford Road , Westport, MA 02790	(508) 674-0800	krybicki@capewayroofing.com	(508) 678-2670
Cam HVAC & Construction Inc.	Adam Petronio	116 Lydia Ann Road , Smithfield, RI 02917	(401) 232-7230	Adam@CAMHVAC.com	(401) 232-7290
Northern Contracting Corp.	Gaurang Parikh	68 Jackson St. , Canton, MA 02021	(781) 821-4200	gparikh@northerncontractingcorp.com	(781) 821-4201
Robert B. Our Construction	Rich Zini	24 Great Western Rd. PO Box 1539, Harwich, MA 02645	(508) 432-0530	RZini@robertbour.com	(508) 432-4385
Homer Contracting, Inc.		195 Broadway , Arlington, MA 02474	(781) 648-3372	info@homercontracting.com	(781) 648-4915
Greenwood Industries Inc.		640 Lincoln St PO Box 2800,, Worcester, MA 01605	(508) 865-4040		(508) 865-1123
General Mechanical Contractors	Michael Tomasino	29A Sword St. , Auburn, MA 01501	(508) 754-7366	support@generalinc.com	(508) 756-6750
Campbell Construction Group	Annette Baldao	21 Caller St Suite 4, Peabody, MA 01960	(978) 532-1998	annette@campbellgroupllc.com	(978) 532-0998
Belcour Corporation	Donald Cournoyer	99 Front St. , Woonsocket, RI 02895	(401) 762-4685	belcour@verizon.net	(401) 762-4666
Vareika Construction Corp.	Kelly McGillis	219 Walnut St. Suite B, West Bridgewater, MA 02379	(508) 583-3999	kelly@vareika.com	(508) 583-6888
Araujo Bros Plumbing & Heating Inc.	Christopher Teixeira	224 Nyes Lane , Acushnet, MA 02743	(508) 998-7006	info@araujobrosplumbing.com	(508) 998-1727
Seekonk heating services	William Murphy	911 taunton ave , Seekonk, MA 02771	(508) 336-3069		(508) 336-0883
M-V Electrical Contractors, Inc	Christopher Soares	10 Conduit St , Acushnet, MA 02743	(508) 995-3826	chris@mvelectrical.net	(508) 995-0151
Silktown Roofing, Inc.	Eric Roth	134 Ferry Street , South Grafton, MA 01560	(508) 887-8908	ericroth@silktownroofing.com	(508) 887-8918
HTS Engineering Inc	Justin Thorpe	One Corporation Wayt Suite 110, Peabody, MA 01960	(978) 977-9911	justin.thorpe@hts.com	(978) 977-9941
Mello Electric Co	Steve Chouinard	138 Morgan St , Fall River, MA 02721	(508) 679-3100	stevec@melloelectric.com	(508) 679-1221
Delphi Construction	Robert Manganello	130 Overland Road , Waltham, MA 02451	(781) 893-9900	info@delphiconstruction.com	(781) 893-9898
DDC Construction Inc	David Costa	20 Query Street , New Bedford, MA 02745	(508) 992-7112	mike@ddcconstructioninc.com	(508) 992-7429
Haynes Group	Anthony Lodi	385 West Street , West Bridgewater, MA 02379	(508) 230-9494	info@haynesgroupinc.com	(866) 209-5412
Dandis Contracting Inc	Patty Dandis	1020 Turnpike Street, Unit 12, Canton, MA 02021	(781) 828-9313	pdandis@dandiscontracting.com	(781) 828-9314
Drizos Contracting LLC	Spiros Drizos	101 Middlesex Turnpike Ste 6 -353, Burlington, MA 01803	(978) 460-2241	spiros@drizoscontracting.com	(781) 221-2245

American Electrical Construction, Inc.	Robert Sullivan	180 South Meadow Road Unit C, Plymouth, MA 02360	(508) 747-5600	rsullivan@americanelectricalconstruction.com	(508) 747-5601
Encore Contracting Services Inc	Facundo Bergallo	375 Common St., Lawrence, MA 01840	(978) 258-1744	fbergallo@encorecsi.com	(978) 655-1758
K&K Acoustical Ceilings, Inc.	Kevin Kontos	1881 Main St Ste. 7, Tewksbury, MA 01876	(978) 851-8844		(978) 851-8291
BCM Controls	Peter Aisenberg	30 Commerce Way, Woburn, MA 01801	(781) 933-8878	service@bcmcontrols.com	(781) 932-3856
Veterans Development Corporation	Lynne Decker	523 Great Road, Littleton, MA 01460	(781) 659-4050	ldecker@vetdevcorp.com	(781) 659-0505
Pmg Mechanical Systems	Paul Gens	11 Jan Sebastian Dr., Sandwich, MA 02563	(508) 888-1745	paul@pmgmechanical.com	
R.P. O'Connell Inc.	Robert O'Connell	3 Huron Drive, Natick, MA 01760	(508) 650-9400	rpoconnell@rpoconnell.com	(508) 650-9406
Builders Systems Inc	Chris Raye	15 Jan Sebastian Drive Unit A3, Sandwich, MA 02563	(508) 888-7738	craye@builderssystemsinc.com	
Kronenberger & Sons Restoration	Thomas Loveless	355 Plymouth St, East Bridgewater, MA 02333	(508) 378-2007		

Contracts

Classification	Conditions	Bonding	Bid Date	Bids To	Bid Type
General Contractor		Bid:5.00%	11/29/2017	Owner	Open Bidding

History

User	Viewed	First Viewed Date	Currently Tracked?	Date Tracked
Adam Sweet	True	11/14/2017	True	11/14/2017



The Clark-Haddad Memorial Building
 16 Dewey Ave, Sandwich, MA, 02563
 Town of Sandwich

Horsley Witten Group, Inc.
 Sustainable Environmental Solutions
 www.horsleywitten.com
 90 Route 6A
 Sandwich, MA 02563
 508-833-6600 voice
 508-833-3150 fax

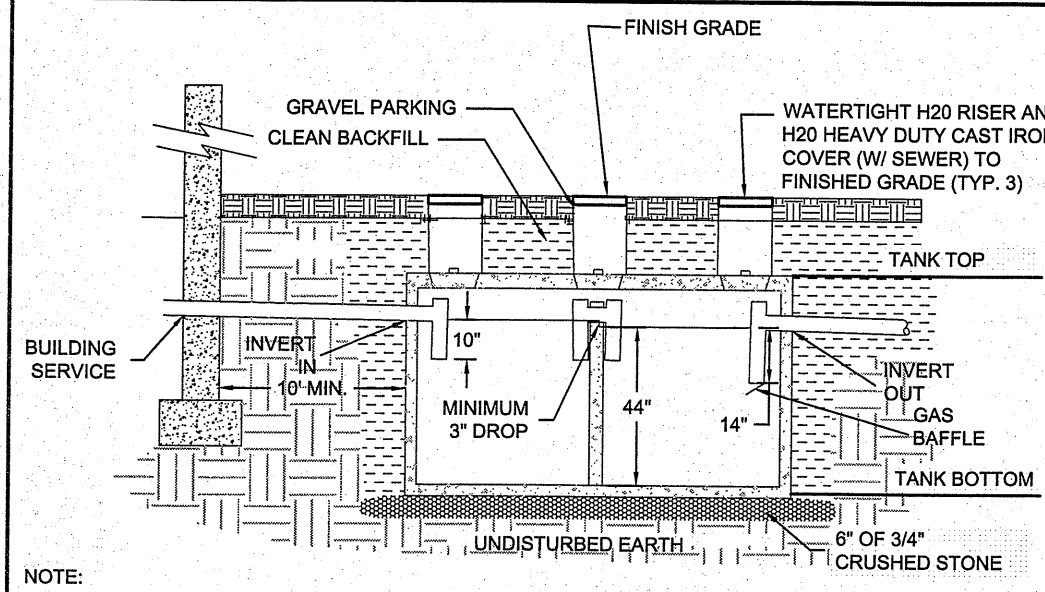
Date: 08/22/17
 Reviewed By: RAC
 Drawn By: AP/JL
 Designed By: AP/JL
 Project No: 17005
 Revision Date: ----

MK & A McGinley Kalsow & Associates, Inc.
 ARCHITECTS & PRESERVATION PLANNERS
 324 Broadway, P.O. Box 45248
 Somerville, MA 02145
 617.625.8901 - www.mcginleykalsow.com

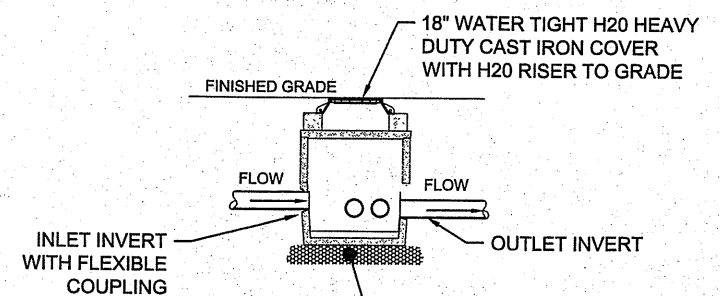
Utility Plan

No. _____

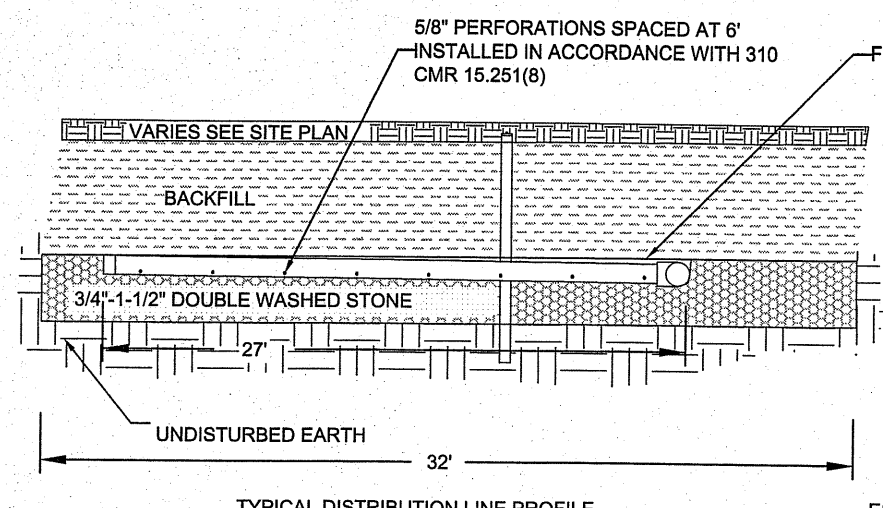
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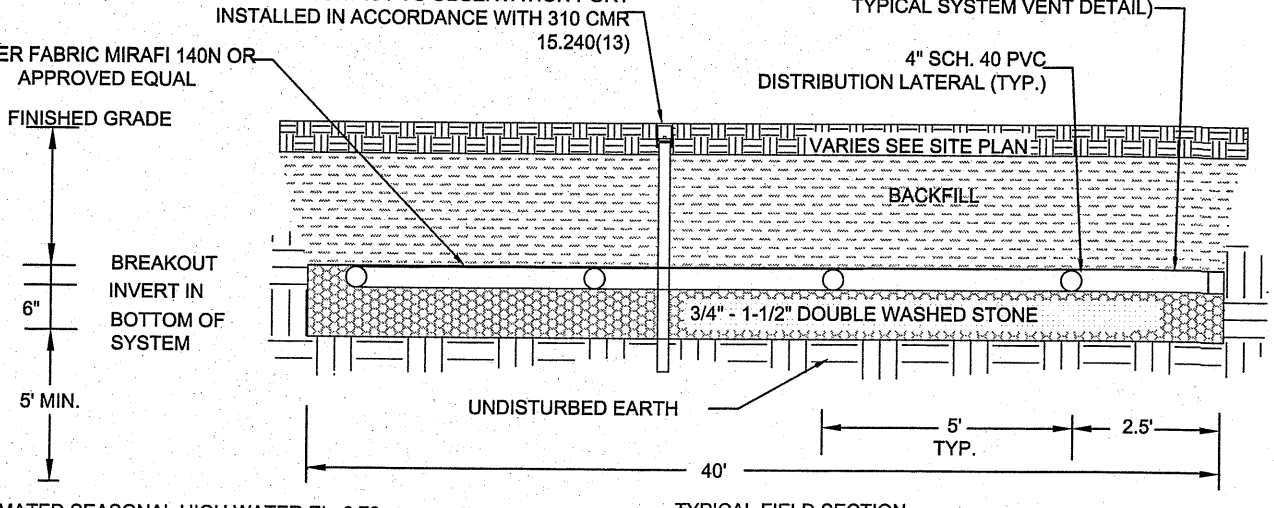
3,000 GALLON TWO COMPARTMENT SEPTIC TANK PROFILE
 NOT TO SCALE



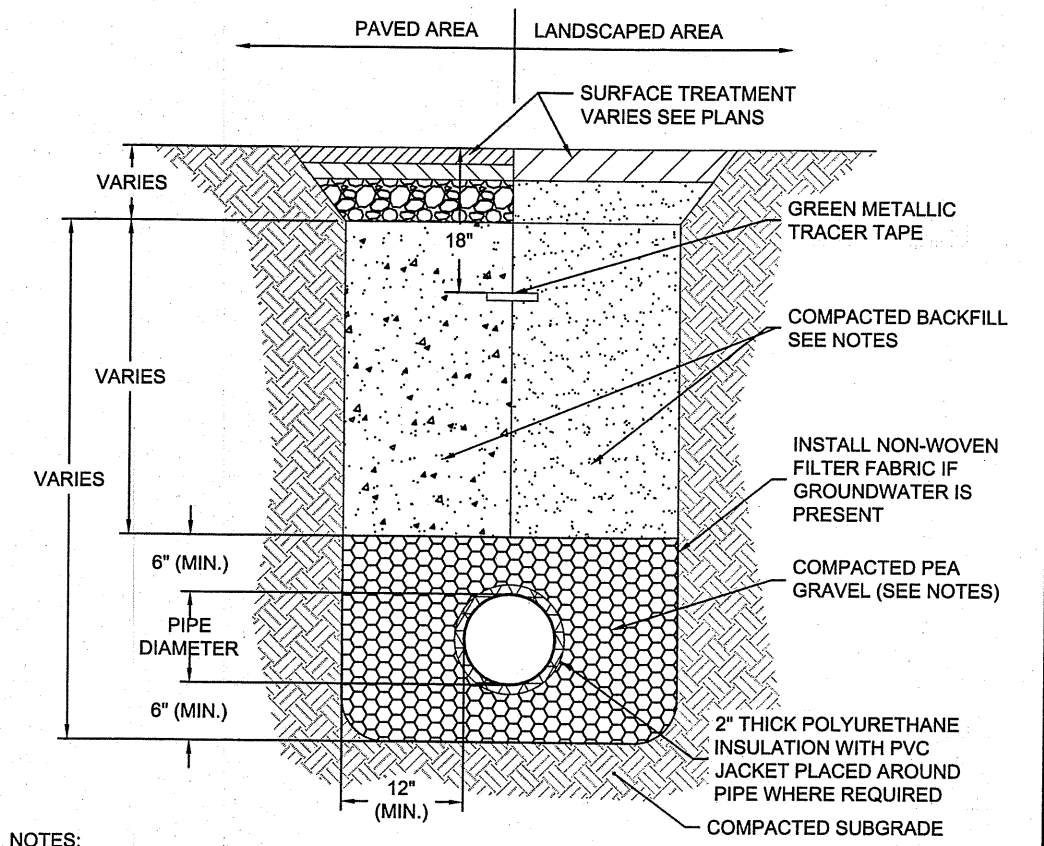
PROPOSED 9 OUTLET DISTRIBUTION BOX DETAIL
 NOT TO SCALE



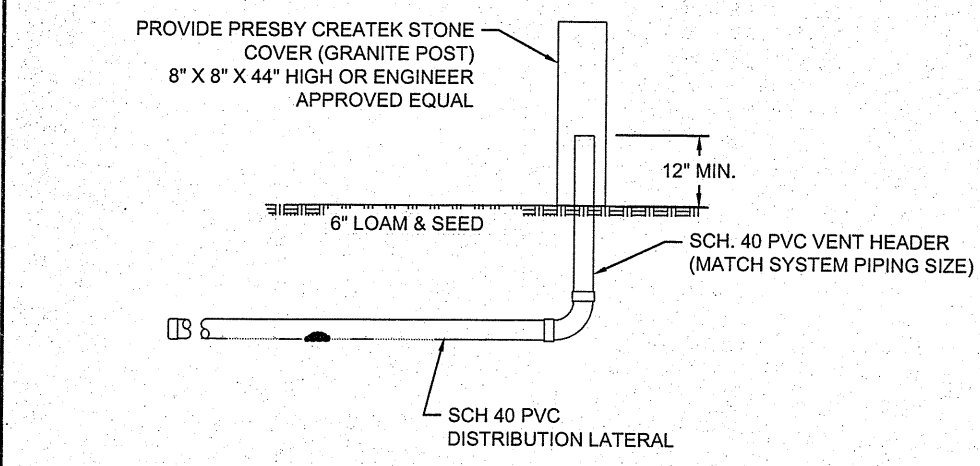
TYPICAL DISTRIBUTION LINE PROFILE



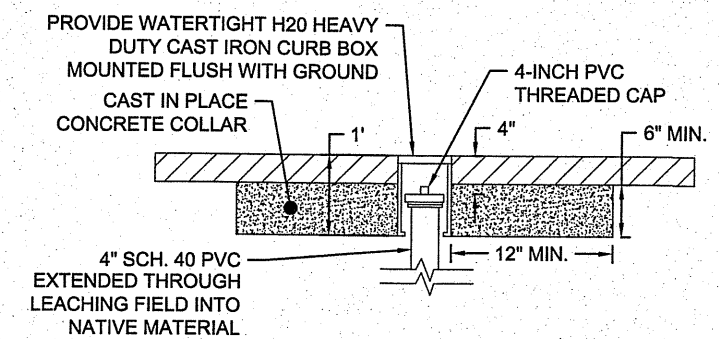
LEACHING FIELD DETAILS
 NOT TO SCALE



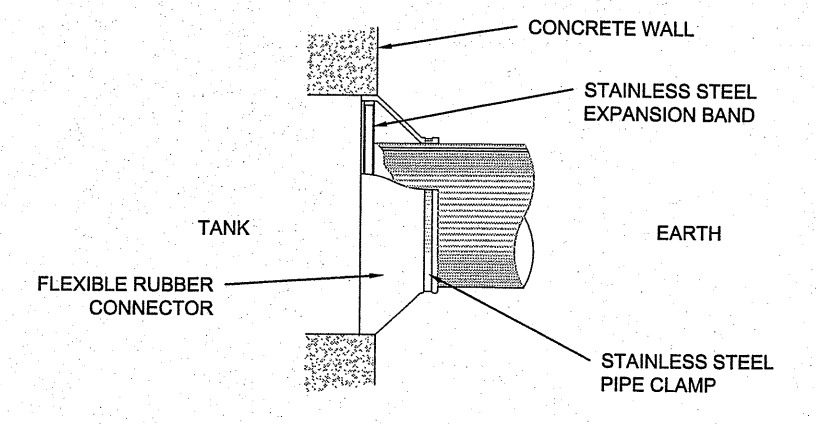
PIPE TRENCH DETAIL
 NOT TO SCALE



TYPICAL SYSTEM VENT DETAIL
 NOT TO SCALE



TYPICAL OBSERVATION PORT DETAIL
 NOT TO SCALE



PIPE BOOT DETAIL
 NOT TO SCALE

ZONING & RESOURCE PROTECTION NOTES

- PARCEL ID: 74-050
 OWNER OF RECORD: TOWN OF SANDWICH
 ADDRESS: 16 DEWEY AVENUE
- 1. THE LOCUS IS IN LOCATED IN FLOOD ZONE X (AREA OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN (AS SHOWN ON F.I.R.M. MAP 25001C0534J DATED JULY 16, 2014).
- 2. THE SITE IS NOT LOCATED IN A WELLHEAD PROTECTION AREA.

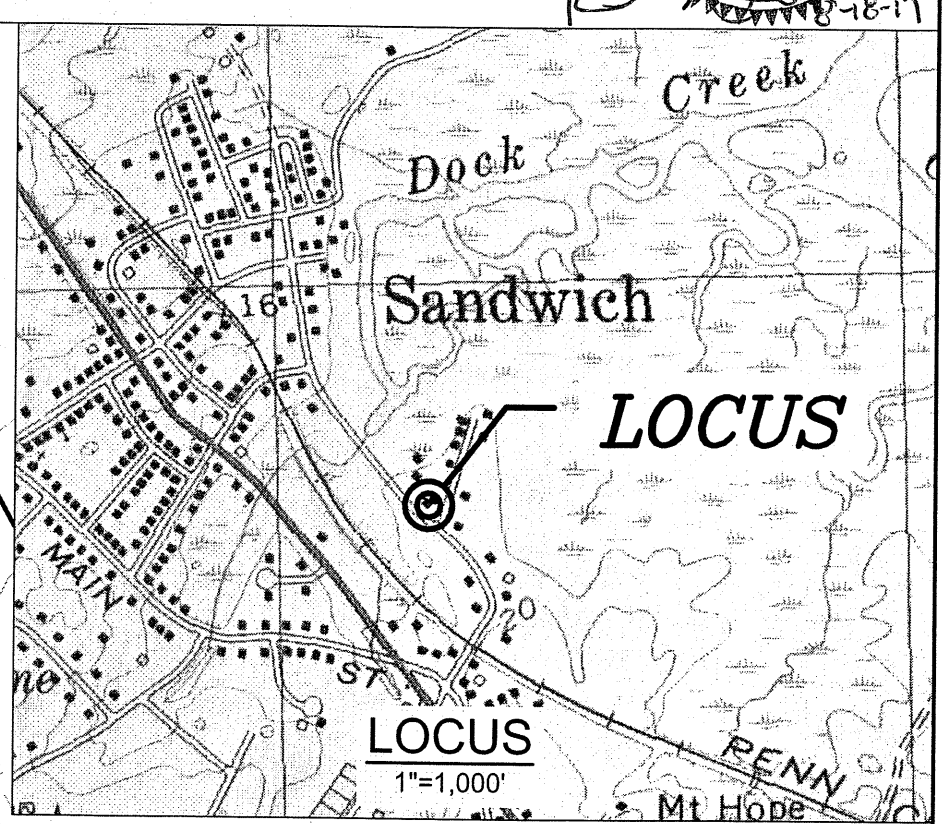
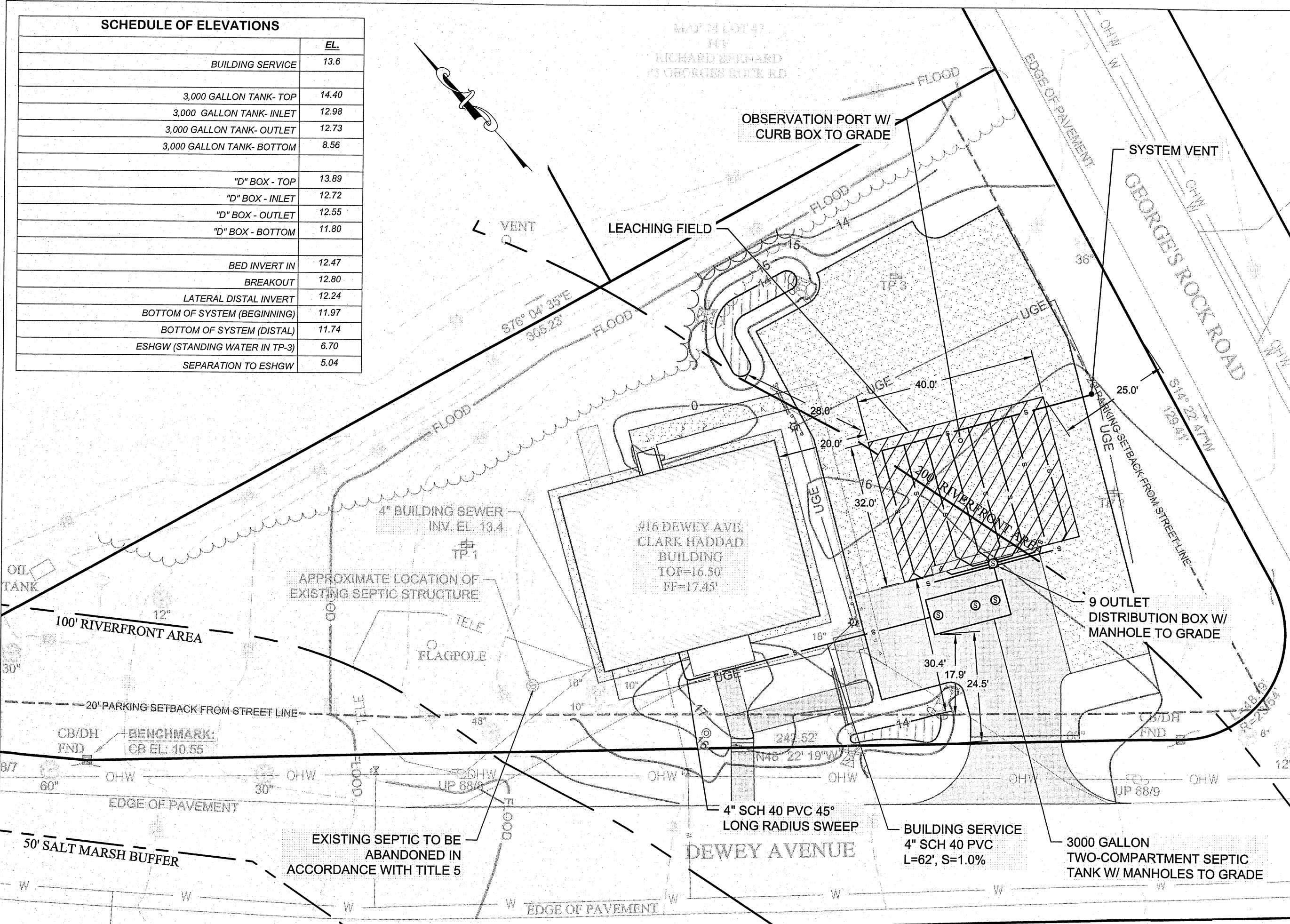
WASTEWATER NOTES

- 1. UNLESS OTHERWISE NOTED, ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE STATE ENVIRONMENTAL CODE AND THE RULES AND REGULATIONS OF THE LOCAL BOARD OF HEALTH.
- 2. THIS PLAN IS INTENDED TO ADEQUATELY PROVIDE THE INFORMATION NECESSARY TO LAYOUT AND CONSTRUCT THE PROPOSED SEWAGE DISPOSAL SYSTEM REPRESENTED ON IT AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES.
- 3. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL BOARD OF HEALTH (BOH) STAFF.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR TO COORDINATE WITH THE ENGINEER ON FILING THE DISPOSAL SYSTEM PERMIT WITH THE TOWN. THE CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNER AND ENGINEER ON THE CONSTRUCTION SITE ACCESS AND MATERIAL STOCK PILE AREAS.
- 5. TRENCH SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCH WORK. THIS WORK MAY BE REQUIRED TO TAKE PLACE OUTSIDE OF NORMAL HOURS OF OPERATION FOR THE FACILITY. THE CONTRACTOR SHALL PLAN ACCORDINGLY.
- 6. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND IN SITE CONDITIONS FROM THOSE SHOWN ON THE PLAN TO THE DESIGN ENGINEER.
- 7. FAILING TO PROPERLY INSPECT OR PUMP THE SEPTIC TANKS AND TREATMENT SYSTEM OR CHANGES TO EFFLUENT FLOW, GRADING, OR LANDSCAPING, EITHER ON-SITE OR ADJACENT TO THE SITE, MAY RESULT IN IMPROPER FUNCTIONING OF THE SEPTIC AND LEACHING SYSTEM(S).
- 8. CALL "DIGSAFE" AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION AT 1-888-DIG-SAFE AND ANY OTHER APPLICABLE AGENCIES TO FIELD VERIFY LOCATIONS OF EXISTING UTILITIES.
- 9. THIS ON-SITE WASTEWATER TREATMENT SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE GRINDER.
- 10. THE OWNER SHALL INSPECT AND PUMP THE SEPTIC TANK ONCE EVERY 2 YEARS.
- 11. PROVIDE WATERTIGHT SEALS BY USE OF NON-SHRINK GROUT AT ALL POINTS WHERE PIPES ENTER OR LEAVE ANY CONCRETE STRUCTURES.
- 12. USE SCH. 40 PVC PIPING WITH WATERTIGHT JOINTS UNLESS OTHERWISE NOTED ON PLAN. ALL PIPE SHALL BE PLACED ON A COMPACTED FIRM BASE.
- 13. ALL STONE TO BE DOUBLE-WASHED AND FREE OF DIRT, DUST, AND FINES.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING OPERATIONS AND MAINTENANCE INFORMATION FOR THE SEPTIC SYSTEM TO THE ENGINEER, IF NECESSARY.
- 15. THE CONTRACTOR SHALL PROVIDE A Dewatering PROTOCOL PRIOR TO CONSTRUCTION IF GROUNDWATER IS ANTICIPATED DURING CONSTRUCTION.
- 16. UNSUITABLE SOIL MUST BE REPLACED WITH TITLE 5 SAND AS SPECIFIED IN 310 CMR 15.255(3). ANY ADDITIONAL AREAS THAT ARE FOUND TO HAVE UNSUITABLE MATERIAL SHALL BE REPORTED TO THE ENGINEER.
- 17. ALL SEPTIC COMPONENTS SHALL BE INSTALLED WITH MAGNETIC WARNING TAPE.
- 18. ALL SEPTIC TANKS SHALL BE APPLIED WITH 2 COATS OF DAMP PROOFING OR BITUMINOUS MATERIAL.
- 19. THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES, OTHER LANDSCAPING AND/OR NATURAL FEATURES. WHEREAS THE PLANS DO NOT SHOW ALL LANDSCAPE FEATURES, EXISTING CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WORK.
- 20. ALL UNPAVED AREAS DISTURBED BY THE WORK SHALL HAVE A MINIMUM OF 4-INCHES OF LOAM INSTALLED AND BE SEEDDED WITH GRASS SEED AS SHOWN ON THE PLAN AND/OR DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ANY LOAM AND SEED AREAS UNTIL LAWN GROWTH IS ESTABLISHED AND APPROVED BY THE ENGINEER AND/OR OWNER.
- 21. ALL EXISTING SEPTIC COMPONENTS SHALL BE ABANDONED IN PLACE IN ACCORDANCE WITH TITLE 5, 310 CMR 15.354(3) AS DESCRIBED BELOW:
 - 21.1. 14 DAYS PRIOR TO DISCONTINUING USE OF THE EXISTING SYSTEM THE CONTRACTOR SHALL APPLY TO THE BOARD OF HEALTH FOR SYSTEM ABANDONMENT.
 - 21.2. UPON APPROVAL FROM THE BOARD OF HEALTH, THE CONTRACTOR SHALL PUMP THE EXISTING LEACHING PIT OF ITS CONTENTS BY A LICENSED SEPTIC HAULER.
 - 21.3. THE BOTTOM OF THE EXISTING PIT SHALL BE OPENED OR RUPTURED TO PREVENT RETAINAGE OF WATER.
 - 21.4. THE EXISTING LEACHING PIT SHALL BE COMPLETELY FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL APPROVED BY THE BOARD OF HEALTH AND ENGINEER.

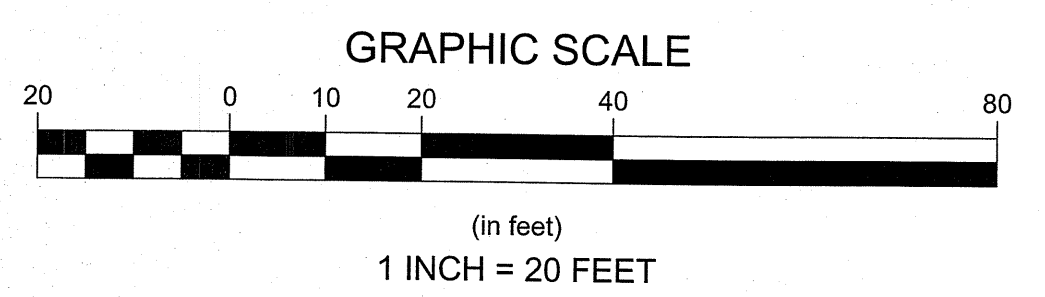
WASTEWATER INSTALLATION INSPECTION NOTES

- 1. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOURS ADVANCE NOTICE TO THE ENGINEER AND LOCAL BOARD OF HEALTH FOR ANY INSPECTION.
- 2. ALL WASTEWATER SYSTEMS, INCLUDING THE LEACHING SYSTEM, SHALL BE INSPECTED BY THE ENGINEER OR THE LOCAL BOH REPRESENTATIVE PRIOR TO BACKFILLING. AT A MINIMUM THE FOLLOWING ITEMS SHALL BE INSPECTED:
 - 2.1. EXCAVATION OF LEACHING FIELD PRIOR TO PLACING SYSTEM STONE/COMPONENTS
 - 2.2. LEACHING FIELD COMPLETE INSTALLATION PRIOR TO BACKFILL
 - 2.3. ALL SYSTEM COMPONENTS BASE AND INSTALLATION PRIOR TO BACKFILL
 - 2.4. LEAKAGE TEST ON SEPTIC TANK (MIN. 24 HR)
 - 2.5. START UP TEST OF ALL COMPONENTS INSTALLED AND FUNCTIONING AS DESIGNED
 - 2.6. FINAL INSPECTION OF BACKFILLED SYSTEM
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN UP-TO-DATE AS-BUILT DRAWINGS AND NOTES INDICATING THE HORIZONTAL AND VERTICAL LOCATION WITH TWO TIES OF ALL SYSTEM COMPONENTS INSTALLED. THESE AS-BUILT DRAWINGS AND NOTES WILL BE UTILIZED BY THE ENGINEER FOR THE PREPARATION OF RECORD PLANS.

SCHEDULE OF ELEVATIONS	
	EL.
BUILDING SERVICE	13.6
3,000 GALLON TANK- TOP	14.40
3,000 GALLON TANK- INLET	12.98
3,000 GALLON TANK- OUTLET	12.73
3,000 GALLON TANK- BOTTOM	8.56
TANK- TOP	13.89
TANK- INLET	12.72
TANK- OUTLET	12.55
TANK- BOTTOM	11.80
BED INVERT IN	12.47
BREAKOUT	12.80
LATERAL DISTAL INVERT	12.24
BOTTOM OF SYSTEM (BEGINNING)	11.97
BOTTOM OF SYSTEM (DISTAL)	11.74
ESHW (STANDING WATER IN TP-3)	6.70
SEPARATION TO ESHW	5.04



TREATMENT SYSTEM DESIGN CRITERIA		
	DESIGN FLOW	DESIGN RATE
	945	GPD
SEPTIC TANKS		
COMPARTMENT 1 - 200% OF TOTAL DAILY FLOW:	2 X 945 GPD:	1,890 GAL
COMPARTMENT 2 - 100% OF TOTAL DAILY FLOW:	1 X 945 GPD:	945 GAL
TOTAL TANK CAPACITY:		2,835 GAL
USE NEW 3,000 GALLON SEPTIC TANK		
LEACHING SYSTEM DESIGN CRITERIA		
SOIL ABSORPTION SYSTEM		
LEACHING SYSTEM USED:	BED	
DESIGN PERCOLATION RATE:	2 MIN./IN.	
SOIL CLASS:	I	
LONG TERM ACCEPTANCE RATE (LTAR):	0.74	GPD/S.F.
TOTAL AREA REQUIRED:	1,278	S.F.
TOTAL AREA PROPOSED:		
AREA: 32L x 40W:	1280	S.F.
DESIGN FLOW PROVIDED:	947	GPD
USE 1 - 32L x 40W LEACHING FIELD		



NOTE:
 SEE EXISTING CONDITIONS PLAN FOR SOIL TEST PIT AND PERCOLATION TEST DATA.

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