

Fort Smallwood Concession Building Rehabilitation

<u>Category:</u>	Government - Misc. Bldgs.	<u>Project ID #:</u>	1004346326
<u>Street Address:</u>	2660 Riva Road Annapolis MD 21401	<u>Staff Estimate Value</u>	\$1,000,000.00
<u>County:</u>	Anne Arundel	<u>Stage:</u>	Biddate Set
<u>Bid Date:</u>	5/16/2017 , 01:30PM		
<u>Architect:</u>			
<u>Documents Available:</u>	Plans, Specs available in Insight	Plans available from Anne Arundel County - Purchasing Division of Central Services	
<u>Last Update:</u>	4/18/2017	Plans,Specs were Added/Updated	

Notes

Scope Renovation of a municipal facility in Annapolis, Maryland. Completed plans call for the renovation of a municipal facility.

Notes Bid Date: 05/16/2017 01:30PM Bids received at Anne Arundel County - Purchasing Division of Central Services Development include(s): Renovation

Details [Division 2]: Building Demolition, Clearing, Shoring, Earthwork, Paving & Surfacing, Landscaping. [Division 4]: Clay Unit Masonry. [Division 5]: Metal Fabrications, Metal Railings. [Division 6]: Rough Carpentry, Finish Carpentry, Architectural Woodwork. [Division 7]: Manufactured Roofing & Siding. [Division 8]: Wood Doors, Hardware, Glass & Glazing. [Division 9]: Drywall/Gypsum, Painting. [Division 10]: Partitions, Toilet & Bath Accessories. [Division 12]: Window Treatment. [Division 15]: Plumbing Fixtures.

Additional Details

<u>Listed On:</u>	4/15/2017	<u>Floor Area:</u>	
<u>Contract Type:</u>		<u>Work Type:</u>	Alteration
<u>Stage Comments 1:</u>		<u>Floors Below Grade:</u>	
<u>Stage Comments 2:</u>		<u>Owner Type:</u>	County
<u>Bid Date:</u>	5/16/2017	<u>Mandatory Pre Bid Conference:</u>	
<u>Invitation #:</u>	P535905	<u>Commence Date:</u>	6/16/2017
<u>Structures:</u>	1	<u>Completion Date:</u>	
<u>Single Trade Project:</u>		<u>Site Area:</u>	
<u>Floors:</u>		<u>LEED Certification Intent:</u>	
<u>Parent Project ID:</u>		<u>Units:</u>	
<u>Parking Spaces:</u>			

Project Participants

Company Role	Company Name	Contact Name	Address	Phone	Email	Fax
Owner	Anne Arundel County - Purchasing Division of Central Services	Judy Salter-Brown	2660 Riva Road 3rd Fl., Annapolis, MD 21401	(410) 266-3703	pwsalt00@aacounty.org	(410) 222-7624

Bidders

Company Name	Added Date	Address	Phone	Email	Bidding Role	Bid Rank	Bid Value	Fax Number
Baltimore Contractors, Inc	4/15/2017	890 Airport Park Road Suite 100, Glen Burnie, MD 21061	(410) 276-2800	info@baltimorecontractors.com	Prospective Bidder - General Contractor			(410) 276-2821
Tito Contractors Inc. - DC Office	4/15/2017	7308 Georgia Ave. NW., Washington, DC 20012	(202) 291-2255	info@titocontractors.com	Prospective Bidder - General Contractor			(202) 726-0495
Trionfo Builders Inc.	4/15/2017	3825 Blenheim Road, Phoenix, MD 21131	(410) 592-1371	tbiinc@comcast.net	Bidder - General Contractor			(410) 592-1372
Colossal Contractors, Inc.	4/15/2017	15454 Old Columbia Pike, Burtonsville, MD 20866	(301) 476-9060	info@colossalcontractors.com	Prospective Bidder - General Contractor			(301) 476-9064

Planholders

Company Name	Address	Phone	Email	Fax
Davis Bowen & Friedel Inc. - Salisbury	One Plaza East Ste. 200, Salisbury, MD 21801	(410) 543-9091	dbf@dbfinc.com	(410) 543-4172

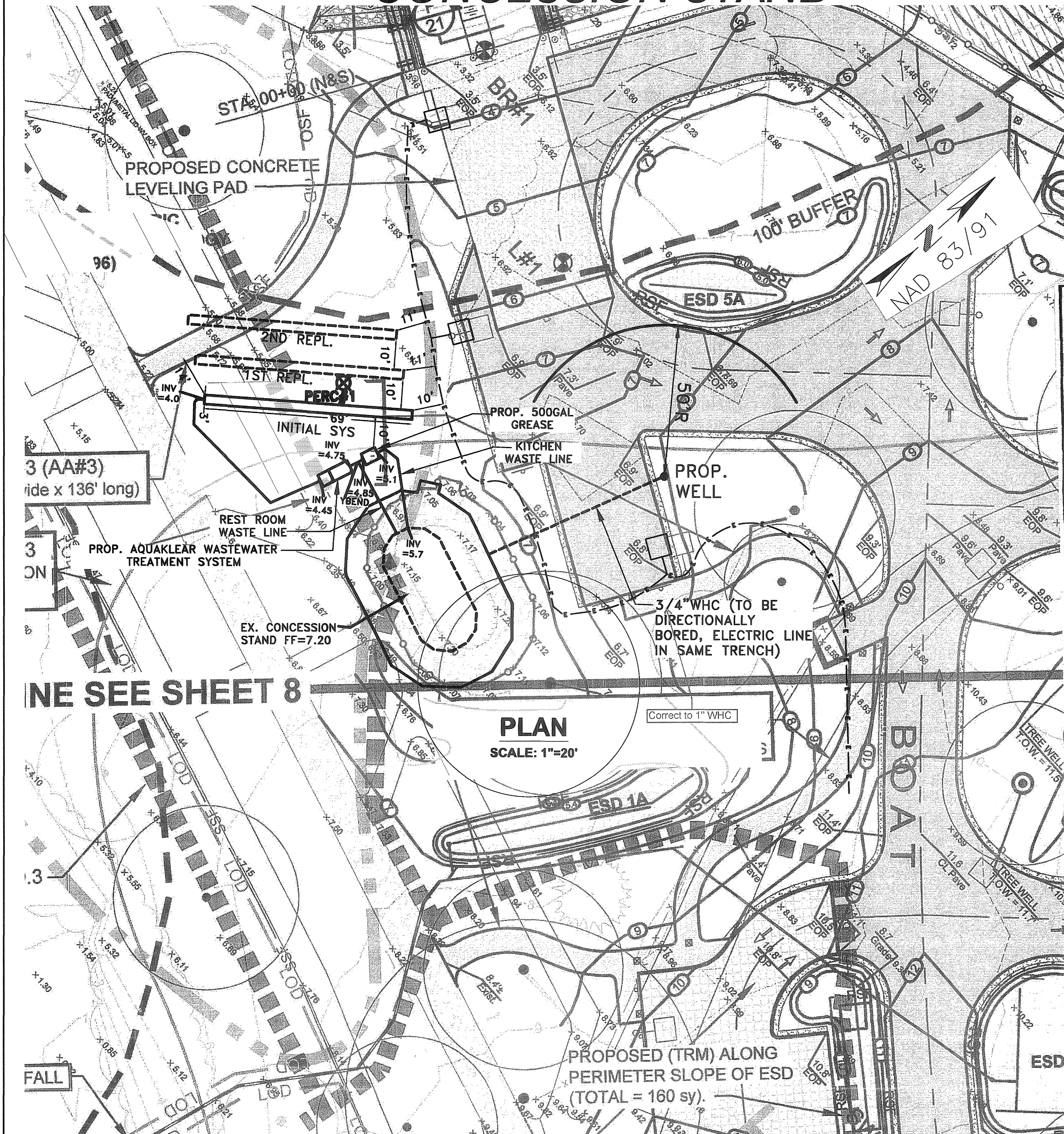
Contracts

Classification	Conditions	Bonding	Bid Date	Bids To	Bid Type
General Contractor			5/16/2017	Owner	Open Bidding

History

User	Viewed	First Viewed Date	Currently Tracked?	Date Tracked
Adam Sweet	True	4/18/2017	True	4/18/2017

SEPTIC PLAN FOR 9500 FORT SMALLWOOD ROAD CONCESSION STAND



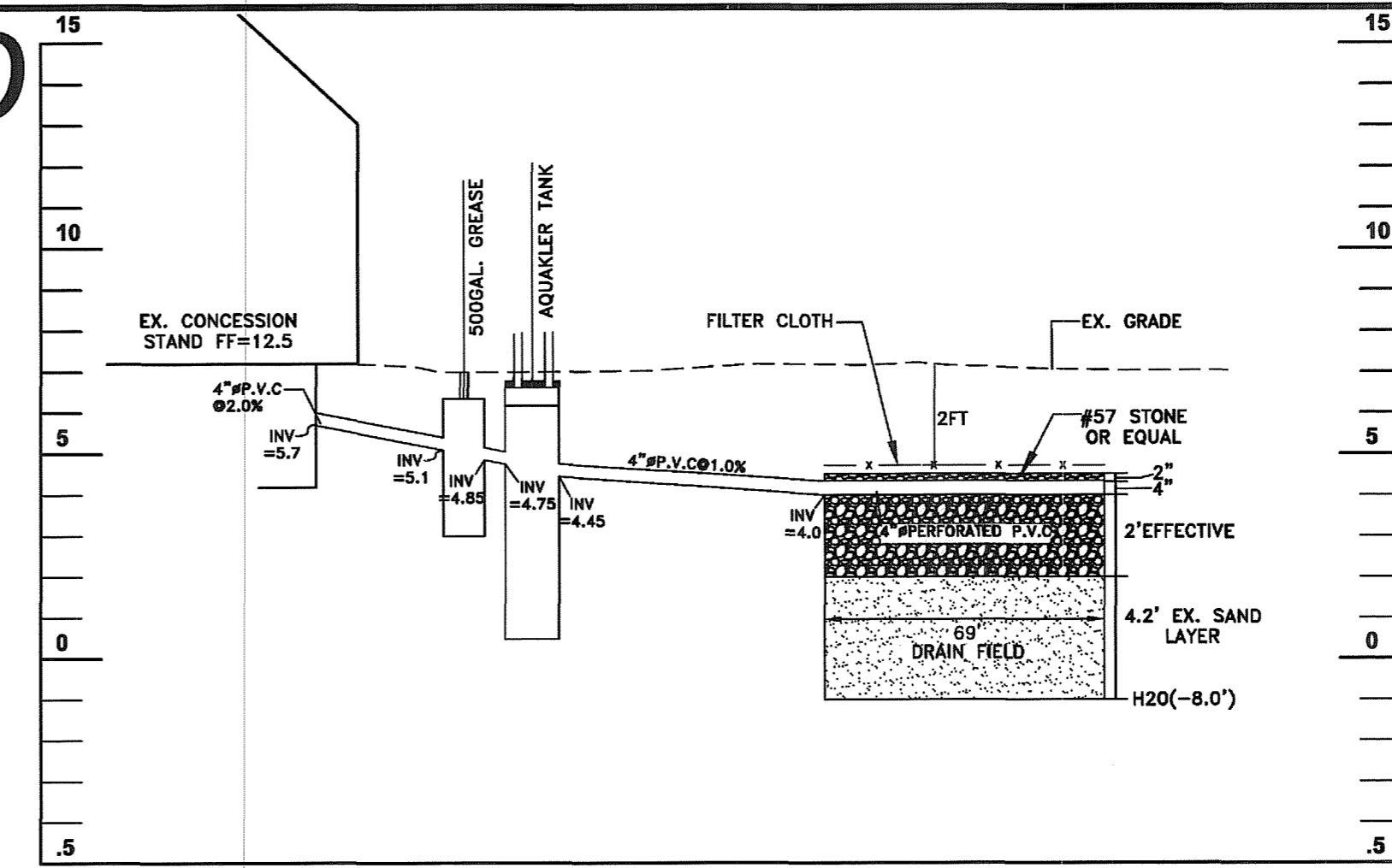
PLAN
SCALE: 1"=20'

SEE SHEET 8

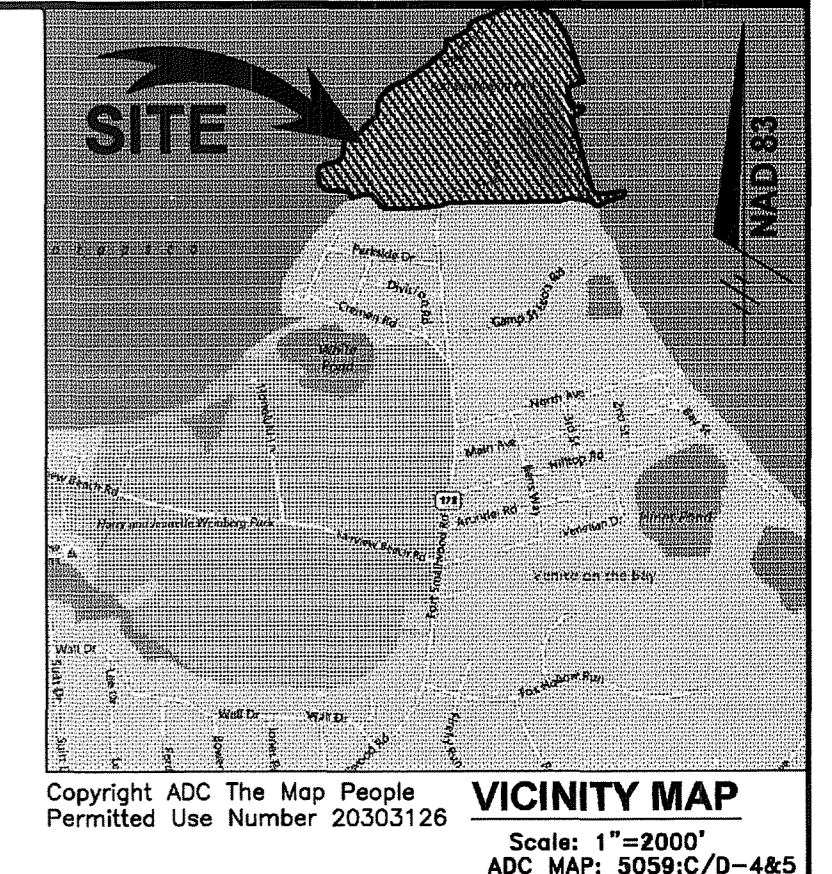
LEGEND

EXISTING CONTOUR	— 42 —	EXISTING ELECTRIC	E —
EXISTING TREE LINE	—		
PERC TEST (FAILED)	⊕		
PERC TEST (PASSED)	⊙		
EXISTING BUILDING	—		
EXISTING FENCE	X		
BUILDING RESTRICTION LINE	— 40" BRL —		

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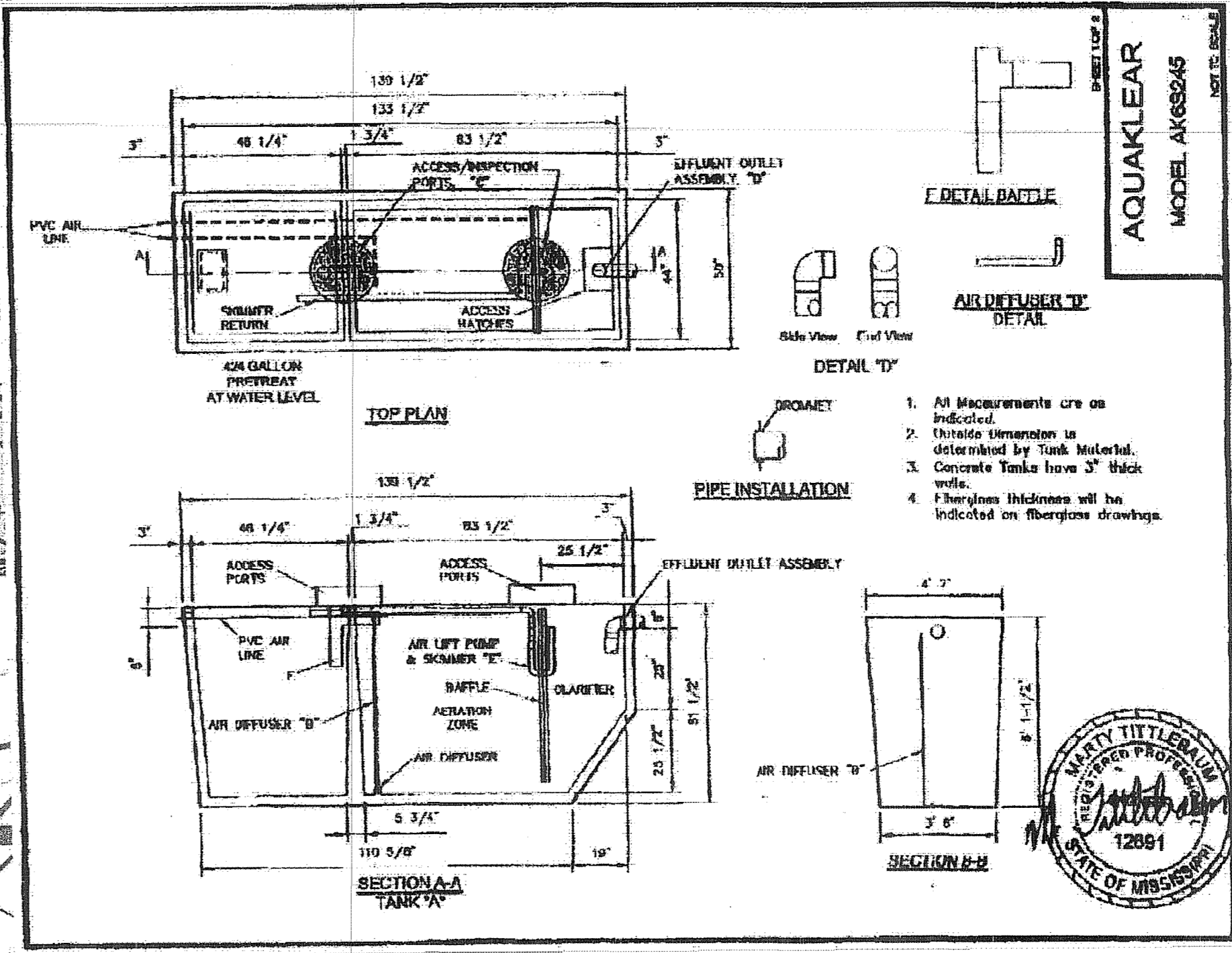
SEPTIC SYSTEM PROFILE
SCALE: HOR. 1"=40'
VERT. 1"=4'



GENERAL NOTES

- TOTAL AREA OF SITE IS 90.0000 AC.± = 3,920,400 SQUARE FEET.
- EXISTING ZONING IS: OS
- EXISTING USE OF THE SITE IS CONCESSION STAND
- PROPOSED USE OF THE SITE IS CONCESSION STAND
- SITE IS KNOWN AS: 9500 FORT SMALLWOOD ROAD PARCEL 14
- PRIVATE WELL AND SEPTIC TO BE INSTALLED AND UTILIZED.
- F.E.M.A. #24003C0086F ZONE AE/VE/X ELEV. 7.0, 6.0, 5.0/9.0, 7.0/ (0.2% ANNUAL CHANCE FLOOD HAZARD) & (AREA OF MINIMAL FLOOD HAZARD)
- SITE IS IN THE CRITICAL AREA ZONE. (RCA) BUFFER EXEMPT
- PERCOLATIONS TEST LOCATED BY TERRAIN INC.
- THIS SITE IS LOCATED WITHIN THE PATAPSCO TIDAL RIVER WATERSHED.
- CONTOURS SHOWN ON THIS PLAN ARE TAKEN FROM A FIELD SURVEY BY ANDREWS, MILLER & ASSOCIATES (FOR ON-SITE AND OFF-SITE AREAS). THE CONTRACTOR SHALL VERIFY THE ELEVATIONS TO HIS OWN SATISFACTION PRIOR TO STARTING WORK, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY.

Septic Design: Fort Smallwood Park



- Test Data
Soil Test #1
0' - 8' Sand
H₂O @ 8.0'
Rate: 2 min.
Pipe @ 1 ft.
 - Design Flow (Concession Stand)
Use: Concession Stand (No Food Preparation)
Flow Rate: 15 GPD/employee + 5GPD/employee/food + 10GPD/employee/utility/sink=30GPD
Operating Hours: One 8 hr. shift/7days/week - April 1 thru November 1
Maximum Employees = 6
- Note: Based on discussion with the County and Architect, the facility will have one unisex bathroom (toilet and sink) for use by employees only. (Not a Public Restroom.) Sales of packaged food and drinks only, no food preparation or cooking. There will be a utility sink, refrigerator/freezer and an electric water cooler. The above requirements support the similarities of a convenience store without any food preparation.

SPECIFICATIONS - MODEL AK68245

Designation	AquaClear Wastewater Treatment System Model AK68245
Treatment Capacity/Class	600 GPD/Class 1
Volometric Capacity	Model AK68245 425Gnl. Pre treatment, 520Gnl. Aeration Chamber, 188Gnl. Clarification Chamber
BOD Loading	Model AK68245 -1.2-1.8 lbs./day
Electrical Requirements	Model AK68245 -115V/60 HZ/1-phase

COMPONENTS/MATERIALS OF CONSTRUCTION MODEL AK68245

Pre-Treat/Aeration/Clarifier Tank	Fiberglass and concrete tanks will comply with all local, state, and federal standards related to their intended use.
Air Pump	Model AK68245 -Diaphragm, linear, or piston air pump, approximately 1.87 CFM @ 1.82 psi.

- Tank Size (<1500 GPD)
Volume: 30 GPD/employee x 6 = 180 gal. x 1.5 = 270 gal.
(∴ Use Minimum Volume = 400 gal.)
Use an Aqua Klear AK68245 or approved equal.
- Drain Field (PERC Rate 2 - 5 min. less than 5000 GPD)
Use 1.2 GPD/SF (Loading Rate)
Absorption Area = 400 GPD/1.2 GPD/SF = 333 SF
Standard Trench Length = 333/3 ft. = 111 LF
- Use Deep Trench System
Pipe at 2 ft., Water at 8 ft., therefore use 2 ft. effective.
Deep Trench System
Where w = 3 ft.
d = 2.0 ft.
a = 333
Required Deep Trench Length = $[(w + 2)/(w + 1 + 2d)] \times a/w$
 $[(3 + 2)/((3 + 1 + 3))] \times 333/3$
 $(5/8) \times 333/3 = 69.4$ ft.
Use one trench as @ 69 ft., separated by 10 ft. with 2 ft. effective. (See Plan.)

REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 13354, EXPIRATION DATE: 2/28/17.

OWNER
MAYOR & CITY COUNCIL
BALTIMORE CITY
DEPARTMENT OF RECREATION & PARKS
2600 MADISON AVENUE
BALTIMORE, MD 21217

TERRAIN, INC.
LAND ENGINEERING & DEVELOPMENT SERVICES
106 OLD SOLOMON'S ISLAND ROAD
ANNAPOLIS, MARYLAND 21401
410-266-1160 FAX (410) 266-6129
E-MAIL: TERRAIN@COMCAST.NET

U-1 SEPTIC PLAN

FORT SMALLWOOD PARK
PARCEL 14
9500 FORT SMALLWOOD ROAD
PASADENA, MD 21122

TAX MAP 12, GRID 13, PARCEL 14 TAX ACCT#03-000-90009446 ZONING:OS
THIRD TAX DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

DATE: JANUARY, 2016 DRAWN BY: D.J.B.
SCALE: AS SHOWN CHECKED BY: R.C.L.
SHEET: 1 OF 1 TERRAIN JOB NO. 2529

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